

VILLAGE AT GULFSTREAM PARK

PLANNED LOCAL ACTIVITY CENTER

DESIGN GUIDELINES

City of Hallandale Beach, Florida

March 2006

(Revised September 2013)

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Prepared for:

~~Forest City Commercial Group~~
Gulfstream Park Racing Association, Inc.

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KA Incorporated

**Village at Gulfstream Park
Planned Local Activity Center
Design Guidelines**

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I. Introduction

Intent

The following guidelines are meant to establish appropriate design principles, as required for the Gulfstream Park Planned Local Activity Center, for:

- vehicular and pedestrian circulation
- buildings (placement, scale/massing, height)
- architecture
- landscaping and open space
- signage
- parking and loading
- streets

These principles are intended to guide the project design to create a high level of quality and cohesiveness. They are intended to provide a broad set of guidelines to be applied with flexibility. The plans contained within the design guidelines are conceptual and images are presented as examples to visually express the design principles.

The Village at Gulfstream Park will be a signature, mixed-use destination in the City of Hallandale Beach, Florida. It will be developed as a vibrant and active urban center with vibrant architecture, pedestrian-friendly streets, and outdoor public spaces. In its truest form, the urban center connotes a denser arrangement of buildings characterized by overlapping patterns of uses and activities, and clearly defined, humanely-scaled spaces, where people can conduct their business and meet and mingle freely with others.

The elements of an urban center create a system of relationships larger and more comprehensive than the design of individual buildings, which requires special consideration for best results. The organization of these elements or design principles is grouped into “urban design.” These guidelines provide clear examples of the principles that will be utilized to create a successful and memorable place at the Village of Gulfstream Park.

The design guidelines are presented as part of the Planned Local Activity Center (PLAC) rezoning application for the Village at Gulfstream Park. Forest City Commercial Group is

requesting a rezoning from the current zoning of Community Recreation-Active (CR-A) to Planned Local Activity Center (PLAC) for the Village at Gulfstream Park. The PLAC will provide the “ability to maximize redevelopment potential and provide for high-quality development by setting standards that are site-specific,” as stated in the City’s Zoning Code.

As part of the PLAC zoning, Forest City Commercial Group is presenting a concept plan for the Village at Gulfstream Park. All detailed site plans will be submitted to the City of Hallandale Beach for review and approval as part of a Major Development Review for each development phase and will comply with the guidelines contained in this document, as approved by the City of Hallandale Beach.

Guidelines

The Design Guidelines establish principles for the urban design elements of the Village at Gulfstream Park.

Good urban design is fundamental to urban places such as the Village at Gulfstream Park. These design guidelines are as much a statement of the development approach as regulatory in their ambition and their scope for the future development of the Village. The guidelines are part of a great story of design helping to enhance the vision and character of the Village at Gulfstream Park.

Based on the principles set forth, the next step in the process, for all phases of development, will be the development of more detailed site plans and related documents for presentation as part of the Major Development Review for approval by the City of Hallandale Beach Planning and Zoning Board and the City Commission.

II. Village at Gulfstream Park

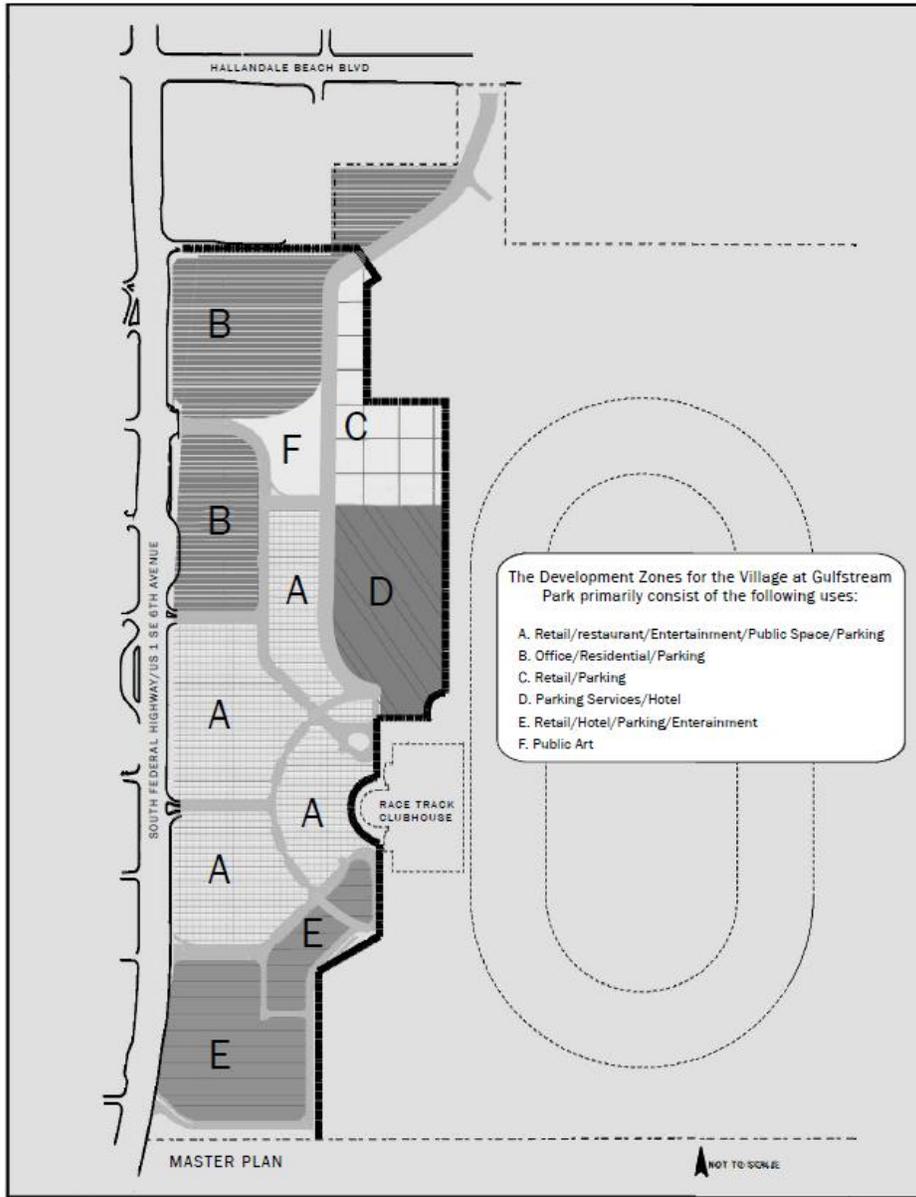
Development Zones

The Village at Gulfstream Park will be truly a mixed-use project consisting of retail, office, residential, hotel, and a cinema. The Village is a vision that is unfolding into a quality, outdoor, lifestyle environment utilizing principles of smart growth, sustainable communities, and transit-friendly development. As a premier destination in the City of Hallandale Beach, the Village at Gulfstream Park will center the commercial and residential components of the project on the Village Green and entertainment plaza. Throughout the Village will be beautiful landscaping, lighting, and pathways culminating in the pedestrian only areas within the Village Green.

Figure II-1 on the following page is a representation of the Village at Gulfstream Park development zones. The Village at Gulfstream Park is proposed as five development zones, adjacent to the Gulfstream Park Racing Facility. The five development zones represent the conceptual areas for implementation. Zone A is currently being proposed as the mixed-use hub of the project being designed to complement the redevelopment of the Gulfstream Park Racing Facility. Zone A will consist of primarily retail, restaurant, entertainment, public space, and parking. The remaining development zones will contain a mixture of office, retail, residential, hotel, service, and parking.

The letters for each zone, identified in *Figure II-1* are used simply to represent the different development areas and are not used to denote any timing or order of development. Please note that any references to land uses and intensities/densities are based on the entire project site area. The distribution of land uses and the development intensities/densities will be a function of the final plans for each zone, but will not exceed the approved total development thresholds. It is important to note that while the Village at Gulfstream Park is separate and distinct from the redevelopment of the Gulfstream Park Racing Facility, the projects will be coordinated and integrated through planning and design.

FIGURE II-1 DEVELOPMENT ZONES



Circulation Plan

The goal of the circulation plan is to illustrate the site circulation for vehicles and pedestrians.

The planned circulation system will extend from the existing street system in the City of Hallandale Beach through the site. Vehicular and pedestrian circulation includes multiple access points which connect the Village to the existing street network. The circulation system provides various options to access different portions of the site. In addition, the multiple access points and circulation system promote the flexibility to efficiently distribute vehicles based upon the different demands of the variety of uses and different peak activity schedules.

The pedestrian circulation network is layered upon the vehicular circulation network. Pedestrian circulation is further enhanced by pedestrian only areas, occurring primarily in Development Zone A adjacent to the Gulfstream Park Clubhouse.

Figure II-2 on the following page illustrates the conceptual vehicular circulation for the Village at Gulfstream Park. The street types listed on *Figure II-2* are detailed in Section V – “Streets Types.” *Figure II-3* is the conceptual pedestrian circulation plan for the Village which includes pedestrian connections to the City’s existing pedestrian and transit facilities and into the Gulfstream Park Clubhouse.

Please note that while the plan substantially reflects primary and secondary vehicular and pedestrian routes, the exact locations of the vehicular and pedestrian routes may be subject to change. In addition, certain elements of connectivity will be implemented and enhanced as part of the development of each respective development zone, as necessary.

FIGURE II-2 VEHICULAR CIRCULATION PLAN

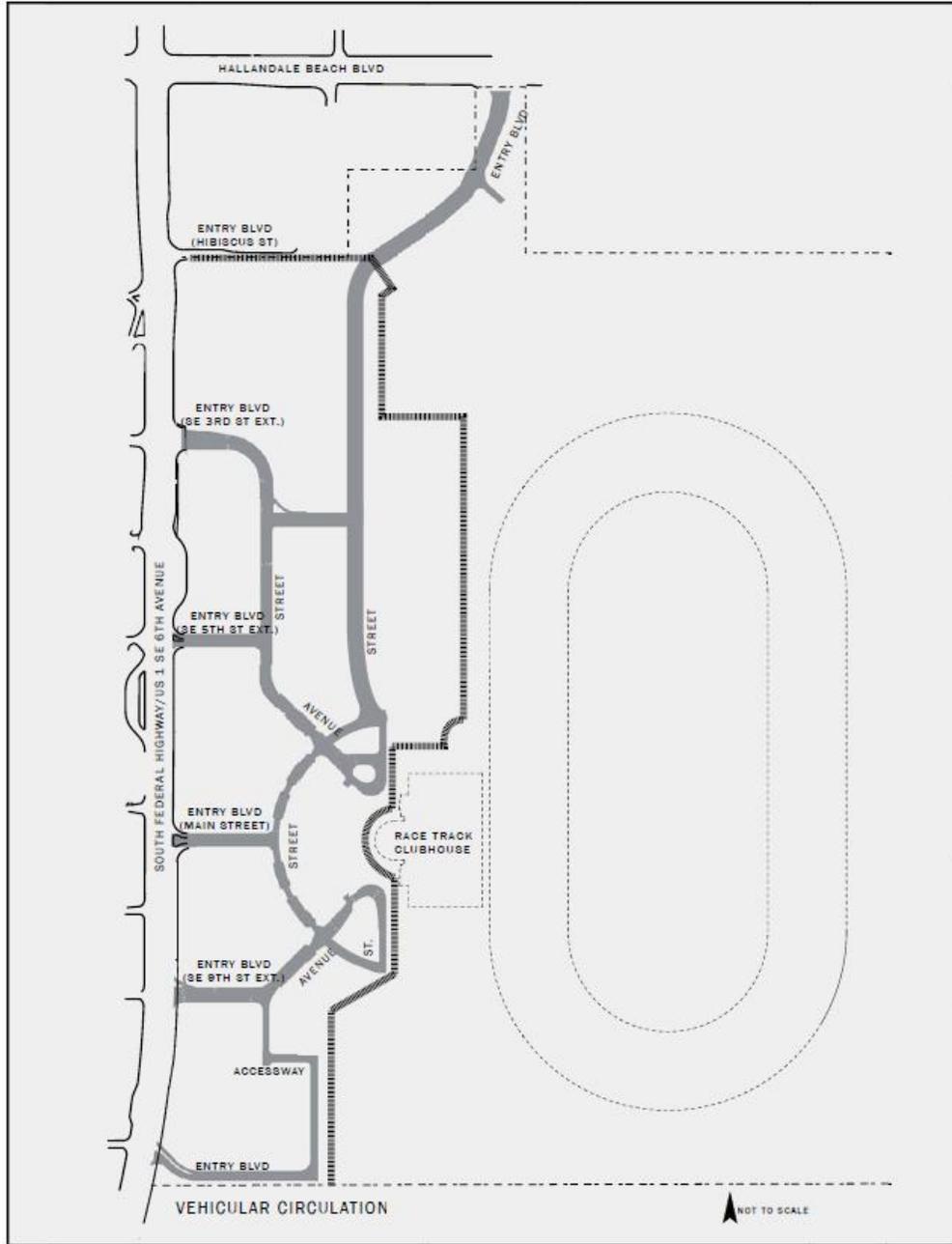
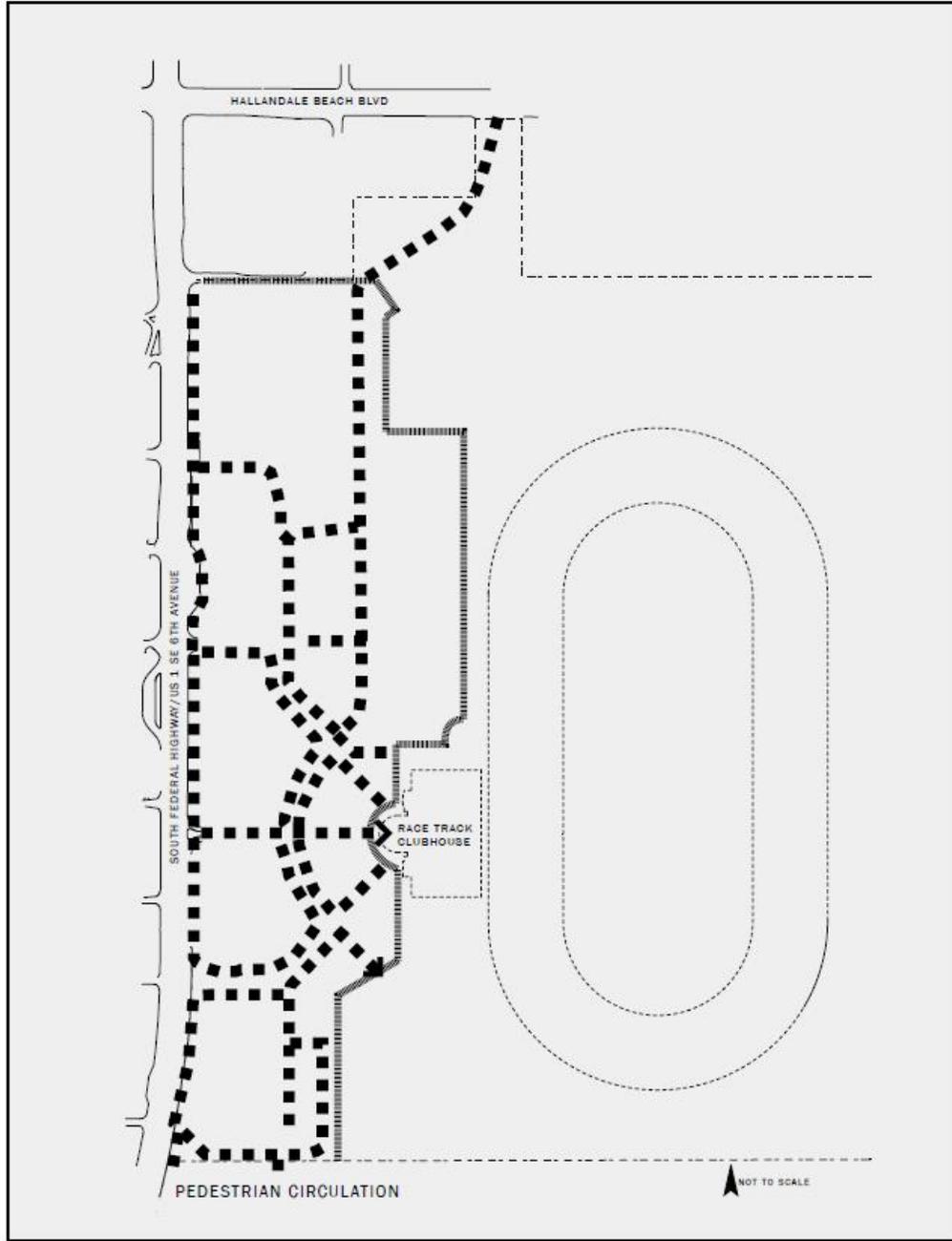


FIGURE II-3 PEDESTRIAN CIRCULATION PLAN



III. Urban Design Principles

Buildings – General Development

Site Design

The general intent of the Village’s urban design principles is to create an urban, mixed-use center with an outdoor, retail experience uniquely situated adjacent to the Gulfstream Park Clubhouse and Racing Facility. The Village at Gulfstream Park will create a comfortable scale by balancing building heights, setbacks, and massing with street and sidewalk widths beautifully detailed and accentuated by landscaping. The Village will utilize varying building heights to achieve a comfortable and appropriate pedestrian scale to enhance the Village as a vibrant, urban community. The design of the Village also incorporates traditional main street design elements such as areas of on-street parking, enhanced sidewalks, and comfortable urban plazas.

In general, the buildings may have an architectural presence toward both Federal Highway and the internal Village streets. Ground floor uses will be designed, where practical, to engage pedestrians. Setbacks will respond to street width and building height to create a sense of scale for urban areas.

The following Urban Design Principles will guide the design of the Village. Specific design parameters are provided to the fullest extent possible to achieve the flexibility required to promote a traditional urban, mixed-use environment.

Building Types

The use of building types provides a template for potential buildings within the Village at Gulfstream Park. Building types are intended to provide a more predictable image of the buildings. The elements of each building, presented in Section IV, include:

- Building Height

Building height will be measured in stories. This provides the necessary flexibility when considering the different uses proposed and their respective floor-to-floor height requirements and will create a more diverse skyline within the Village.

- Building Placement

Buildings serve to define streets spatially. Proper spatial definition is achieved with buildings or other architectural elements (including certain tree plantings) that make up the street edges when aligned in a disciplined manner with an appropriate urban ratio of height to width. The spatial definition of the street is most effectively accomplished using buildings placed within close proximity to the sidewalk, where practical. The Village at Gulfstream Park intends to achieve an appropriate human scale and urban spatial relationship between the streets and buildings, where appropriate.

For the Village at Gulfstream Park, the building types will address building placement in relation to the street which it fronts versus setback from the property line. This is necessary as the buildings should relate to streets within the development versus the property line (typical of a setback measurement). However, potential buildings along Federal Highway, discussed later, reference placement based upon the right-of-way of Federal Highway, consistent with the internal Village streets.

- Building Use

This element identifies the types and combinations of uses that may be utilized within a specified building type. Since the Village at Gulfstream Park is a mixed-use development both vertically and horizontally, many of the building types may allow a wide variety of uses. However, all of the uses will be within the retail, office, restaurant, residential, hotel, and entertainment categories, approved by the City of Hallandale Beach.

- Building Separation

The Village at Gulfstream Park is designed as a traditional, urban, mixed-use environment providing a living, working, and shopping experience similar to downtowns and main streets of many communities. Typically, buildings in these areas maintain fluid and, where appropriate, contiguous street frontages to create vibrant buildings that draw people from one business or building to the next. The buildings and their respective street frontage lengths are balanced with the urban design principle of short blocks to provide comfortable pedestrian circulation for pedestrian passageways, plaza areas, and/or streets.

- Lot Coverage, Pervious/Impervious Area

In general, urban, mixed-use projects have significant lot coverage maximizing the development of a site. This is typically accomplished by contiguous buildings with structured parking which break at intervals for vehicular and pedestrian circulation and opportunities for public plazas. The Village at Gulfstream Park is promoting an urban, mixed-use environment providing concentrated lot coverage, along with multiple opportunities for public plazas. The maximum lot coverage,

consisting only of buildings, for the entire Village at Gulfstream Park will be 75 percent. While it is not anticipated that the development will ever approach the maximum, the Village at Gulfstream Park is reserving the opportunity for infill development as the project and the City evolve. The impervious area of the site consisting of buildings and parking areas will be a maximum of 85 percent.

- Architecture, Signs, and Landscaping

This section establishes design guidelines for a unified building character drawing from South Florida design characteristics. However, a building type may warrant special considerations for scale/massing, character, architecture, signs, and landscaping beyond those detailed in the design principles that follow. In these cases, special considerations for that building type will be provided as part of the Major Development Review.

| General Development Provisions* | |
|--|---------------------|
| Building Types | 6 Types |
| Building Height | Detailed on page 19 |
| Building Placement | Detailed on page 19 |
| Building Use | Detailed on page 19 |
| Landscaping ¹ | Minimum 15 percent |
| Lot Coverage ² | Maximum 75 percent |
| Impervious Area ³ | Maximum 85 percent |

*All of the General Development Provisions are calculated for the entire Village at Gulfstream Park site and not based upon individual development zones.

¹Landscaping refers to all landscaped areas including tree beds, planters, and other landscape treatments within the plazas, along sidewalks/buildings, and throughout the Village.

²Lot Coverage is calculated for buildings and vertical structures only.

³Impervious Area consists of buildings, vertical structures, and all areas of the site, such as parking areas, that do not permit water to percolate into the ground. Twenty-five percent of areas within the Village that utilize paver bricks will be considered pervious.

Architecture

Intent



The general intent is to create a high quality, urban, mixed-use center characterized by the architectural styles and design elements. The architectural styles utilized within the Village will be complementary and will establish a unified character for the development. The architectural style will draw from various South Florida design elements and may incorporate some of the elements of the Mediterranean Revival style complementing the proposed design of the Gulfstream Park Clubhouse.

Colors



Finish colors of buildings will reflect South Florida or coastal themes and complementary tones. The proposed color palette for each building will be provided for each phase of development as part of the Major Development Review.

Materials



Materials will be used that reinforce the human scale at the street level. Primary materials traditionally associated with South Florida such as stucco, stone, and cast stone will be utilized throughout the Village.

Building Scale/ Massing



Massing is defined as the shape or form of a building, or assemblage of buildings, assumed through architectural design. All building facades are a composite of horizontal tiers and vertical bays.

Varied architectural elements on the lower levels of building facades will be used for visual interest to pedestrians. Large, blank surfaces are discouraged unless they have a compelling design purpose. This is especially true at the ground floor level which requires additional detail and visual amenities for pedestrians.

*Facades/
Articulation*



All sides of a structure will be continuous in design for the appropriate function of the facade; i.e., service areas will be appropriately detailed, but not to the level of storefront facades.

Entries will be articulated with different building materials, changes in building massing, or changes in the roof line that break the facade's regulated surface. Enhanced lighting and signs will be incorporated in entry design. Storefronts and entrances will be articulated differently to create interplay between the public and private realms and between exterior and interior activities.

Balconies



Balconies may be incorporated in the facade of all building types to enhance the building facade. Balconies may vary in size; however, the style will be consistent with the architectural style of the building type. Balconies may be surrounded by railings or parapets. The projection of the balcony beyond the facade will not extend beyond the vertical threshold of the back of the curb of an adjacent street.

Awnings



Awnings may be used to enhance building facades and storefronts with color and dimension and to provide for browsing and cafe seating. Awnings will vary in size, color, and material. Creative use of materials is encouraged. Awnings will be generally consistent in height and depth to create a canopy of shade and protection from rain.

Awnings at the sidewalk level will project a minimum of four feet from the building facade. Awnings on the stories above the sidewalk level will project a minimum of two feet from the building facade. All awnings will be consistent with the architecture of the building.

*Arcades/
Colonnades*



Arcades and/or colonnades are the part of the building facade that overlap the sidewalk with the ground floor set back to provide a comfortable, shaded pedestrian environment. Arcades may be used to enhance building facades and storefronts and provide protection from sun and rain, if applicable. Arcades, where appropriate, will provide a minimum width of eight feet for pedestrian circulation and/or outdoor café and restaurant seating opportunities. Design of the pedestrian areas with respect to the arcades will encourage pedestrian activity within the arcades.

Lighting



Architectural lighting is encouraged to highlight landscaping, signage, and special architectural features. Lighting in storefronts is recommended to encourage window shopping and other evening activities when stores are typically closed. Whenever practical, second story windows may be illuminated to imply human presence and counter the perception of desolation.

A lighting plan for the parking areas consistent with the City's Zoning Code will be presented to the City for review as part of the Major Development Review.

Landscape

Landscape



Specifically, the Village will utilize only the landscaping within the recommended plant list in Section 1.2 of the City's Design Guidelines Manual.

The Village at Gulfstream Park will be a carefully landscaped urban environment. As required, royal palm trees will be used along Federal Highway in a landscape buffer with a minimum height of 15 feet at the time of planting. A proposed cross section of the Federal Highway frontage is provided in Section IV – Building Types. The Village at Gulfstream Park will meet the City's minimum landscaping requirement of 15 percent, including open space such as plazas, arcades, water features, and other pedestrian common areas. The specific landscape provisions and quantities will be detailed in the landscape plans submitted to the City as part of the Major Development Review.

Open Space

Open Space



Open space is an essential element of the Village at Gulfstream Park and will consist of plazas, arcades, water features, pedestrian common areas, and landscape areas. The type and character of the open space will be influenced by the surrounding uses.

The type of open space provided for each development zone will be dependent on the types of uses programmed for the respective zone. The main open space plaza and Village Green will be in Development Zone A. A detailed open space plan for Phase 1 of the Village at Gulfstream Park will be submitted as part of the Major Development Plan Review package.

Central Plaza

The focal point of the Village at Gulfstream Park is the Central Plaza proposed at the heart of the Village adjacent to the Gulfstream Park Clubhouse. The plaza will be a unique design incorporating a variety of colors, textures, and landscaping to create a comfortable urban area for formal and informal gatherings, pedestrian congregation, and other social encounters. The Central Plaza will be clearly defined by the Clubhouse and adjacent buildings within the Village.



Examples of Plazas



Village Green



The Village Green is at the heart of the Village and is connected to the main plaza area in front of the Gulfstream Park Clubhouse. The area of the Village Green will be defined by the landscaping and buildings overlooking the green. The dimensions of the Village Green are approximately 90 to 120 feet wide by 200 feet long. The area will contain design elements similar to the Central Plaza such as incorporating a variety of colors, textures, and landscaping to create a comfortable urban space for formal and informal gatherings, pedestrian congregation, and other social encounters. As a main pedestrian area, the Village Green will be designed to include a variety of pedestrian amenities throughout the design.

Water Features



Water features may be used as one of the urban design elements of the Village. These may include large or small fountains within the open space areas or within the medians of the boulevards. The water features may be interactive or formal.

Pedestrian-scale Site Amenities



Pedestrian-scale site amenities within the open space and plaza areas may include seating opportunities, such as benches, low walls, and wide planter edges, pedestrian scale lighting, trash receptacles, water fountains, decorative paving patterns, kiosks, wide sidewalks, and enhanced pedestrian crosswalks.

Public Art

Public art may be used as one of the urban design elements of the Village. These may include permanent or temporary installations and can be large or small art features within the open space areas or integrated with building architecture. Public art can take on many forms and sizes, but themes and concepts may reflect elements of the Mediterranean Revival style and/or uses and activities on site.

Signs

| | |
|---------------------------|--|
| <i>General Guidelines</i> | A sign plan for the Village at Gulfstream Park will be submitted as part of the Major Development Review for each development phase. |
| <i>Sign Types</i> | The types of signs permitted within the Village at Gulfstream Park include, but are not limited to, monument and pedestal signs, blade signs and letters fixed directly to building walls, projecting and hanging signs, and neon and dynamic LED-type signs for media uses. |
| <i>Wayfinding</i> | <p>A clear navigational system is encouraged to illustrate the Village's components as well as its geographic connection to the City of Hallandale Beach and surrounding community.</p> <p>Maps and kiosks may be designed to provide wayfinding information and may incorporate dynamic wayfinding signage.</p> |
| <i>Promotional</i> | Changeable or dynamic signage incorporating activities or advertising may be utilized on buildings, awnings, kiosks, or wayfinding elements. |

Please note that these guidelines apply to the Village at Gulfstream Park PLAC and are not intended to govern any signage proposed for the Gulfstream Park Racing Facility.

Parking/Loading

On-street Parking



On-street parking provides additional parking opportunities and creates a more urban street type with pedestrian buffers and greater access to businesses. All on-street parking spaces will be a minimum of eight feet wide by 20 feet long, unless otherwise noted.

Mid-block pedestrian crossings may be provided to increase pedestrian crossing opportunities and to break up the number of parallel spaces provided in a row.

For the Village at Gulfstream Park, on-street parking refers to parking provided along street internal to the site and does not correspond to any parking on public rights-of-way.

Off-street Parking



In general, surface parking will be provided with 90-degree parking stalls with a minimum dimension of nine feet wide by 19 feet deep, with a minimum drive aisle of 23 feet wide. Handicap parking dimensions will conform to the requirements of the Americans with Disabilities Act (ADA). Landscape islands will be provided at the ends of parking aisles and generally throughout the surface parking areas to break up the expanses of asphalt. Parking shall be striped in conformance with the City's Zoning Code. Generally, wheel stops will not be utilized in the parking areas.

Structured Parking



As the Village at Gulfstream Park evolves, some of the surface parking areas may be converted to structured parking to increase the amount of parking provided within a smaller footprint. The structured parking may be provided in combination with the proposed retail, residential, hotel, cinema or office uses or independent of any other uses.

To the fullest extent possible, parking structures will be screened or "wrapped" by uses such as residential or retail. The uses will be strategically placed to minimize the amount of exposed parking structures. In the event a parking structure cannot be wrapped by a use, the

structure will be architecturally treated on all sides.

When the parking structures are provided in combination with other uses, any exposed portions of the parking structure will be treated architecturally to complement the architecture of the combined uses. Examples of parking structure architectural treatments are provided below for illustrative purposes only. All details for future parking structures will be approved through the Major Development Review.



3 levels of parking above retail



4 levels of parking above retail

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Loading



An off-street loading space shall include at least 12 feet wide by 50 feet long with 14 ½ feet vertical clearance. Each off-street loading space shall be easily accessible and arranged for convenient and safe ingress and egress by truck or trailer combination. Off-street loading spaces may be combined with service areas provided in various locations of the Village. The number of loading spaces within each service area will correspond with the adjacent uses and the respective loading requirements.

Service areas for the Village at Gulfstream Park will be internalized, where practical. In areas where the services cannot be provided within an enclosed service area, screen walls, landscaping, and other treatments will be utilized to limit the visibility of the service area.

IV. Building Types

The following matrix provides the general design principles for each building type proposed for the Village at Gulfstream Park. While not all building types can be envisioned at this time, the intent of the following information is to provide a representative list of potential building types. General descriptions of the building types are provided.

| Building Type | Building Height ¹ | Building Placement ² | Primary Use ³ |
|--|-----------------------------------|-------------------------------------|--|
| 1. Retail | | | |
| a. One-story | Maximum: 1 story (50 feet) | Minimum: 0 feet Maximum: 25 feet | Retail |
| b. Two-stories | Maximum: 2 stories (70 feet) | Minimum: 0 feet Maximum: 25 feet | Retail |
| c. Three-stories | Maximum: 3 stories (105 feet) | Minimum: 0 feet Maximum: 30 feet | Retail |
| d. With cinema | Maximum: 3 stories (100 feet) | Minimum: 0 feet Maximum: 25 feet | Retail/Cinema |
| 2. Office | | | |
| a. Low-rise | Maximum: 6 stories (100 feet) | Minimum: 0 feet Maximum: 25 feet | Office; may include ancillary retail |
| b. High-rise | Maximum: 20 stories (300 feet) | Minimum: 0 feet Maximum: 25 feet | Office; may include residential and ancillary retail |
| 3. Mixed-Use | | | |
| a. One-story retail/up to five-story residential and/or office | Maximum: 6 stories (100 feet) | Minimum: 0 feet Maximum: 25 feet | Residential and retail |
| b. Two-story retail/up to three-story residential | Maximum: 6 stories (120 feet) | Minimum: 0 feet Maximum: 25 feet | Residential and retail |
| 4. Hotel | | | |
| | Maximum: 30 stories (300 feet) | Minimum: 0 feet Maximum: 50 feet | Hotel; may include ancillary retail |
| 5. Residential | | | |
| a. Townhouse | Maximum: 3 stories (60 feet) | Minimum: 0 feet Maximum: 25 feet | Residential |
| b. Low-rise | Maximum: 6 stories (100 feet) | Minimum: 0 feet Maximum: 25 feet | Residential; may include ancillary retail |
| c. High-rise | Maximum: 30 stories (380 feet) | Minimum: 0 feet Maximum: 50 feet | Residential; may include ancillary retail |
| 6. Parking Structure | | | |
| | Maximum: 10 stories (120 feet) | Minimum: 0 feet Maximum: 25 feet | Parking; may include ground floor retail or office |

Notes:

¹ **Building Height** is the maximum building height for each building type based upon the number of stories. The height of the building in feet is represented, but due to the flexibility in floor-to-floor heights the maximum building height may increase by 25 percent. This does not include architectural features such as belfries, widow's walks, steeples, and towers which may exceed by the maximum height by no more than 25 percent of the average height of the building.

² **Building Placement** is the location of the building's primary facade measured from the back of the sidewalk along the primary facade of the building. This does not include habitable areas above arcades that overlap the sidewalk. The portion of the arcade which is adjacent to the street edge will be no less than 2.5 feet from the face of curb. Building types proposed along Federal Highway will maintain a setback detailed in the Federal Highway Frontage section. Side and rear setbacks of a minimum of 15 feet will only be applied to buildings proposed adjacent to the property boundary of the Village, excluding the boundary adjacent to the Gulfstream Racing Facility.

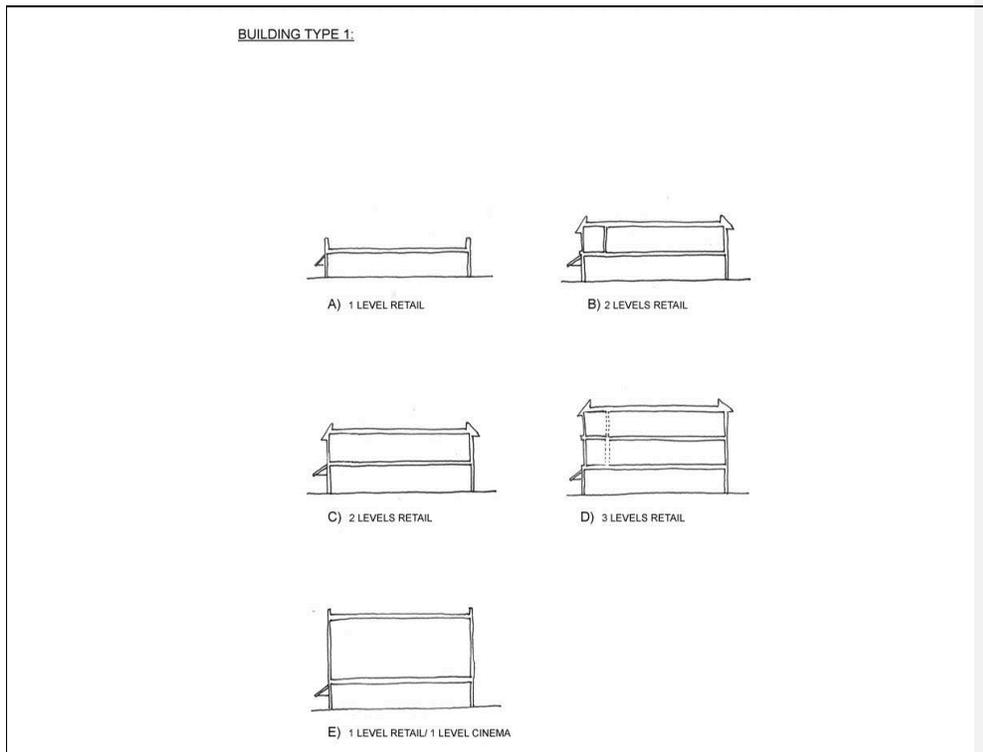
³ **Primary Use** is the use which utilizes more than 50 percent of the gross square footage of the building. Building Type 6 refers to parking structures independent of any primary use. Parking structures attached to or designed as part of Building Types 1 through 5 are not considered in the primary use calculation.

**Building Type 1:
Retail**

This building type is primarily retail, but may include a cinema (Type 1D, see below). Type 1C may include a major retail store. The building heights range from one story (Type 1A) up to three stories.

The primary facades adjacent to pedestrian areas and sidewalks may include an arcade. Entrances to the retail uses will be from the sidewalk or pedestrian areas. Outdoor café and restaurant seating may be provided adjacent to the retail frontage.

Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.

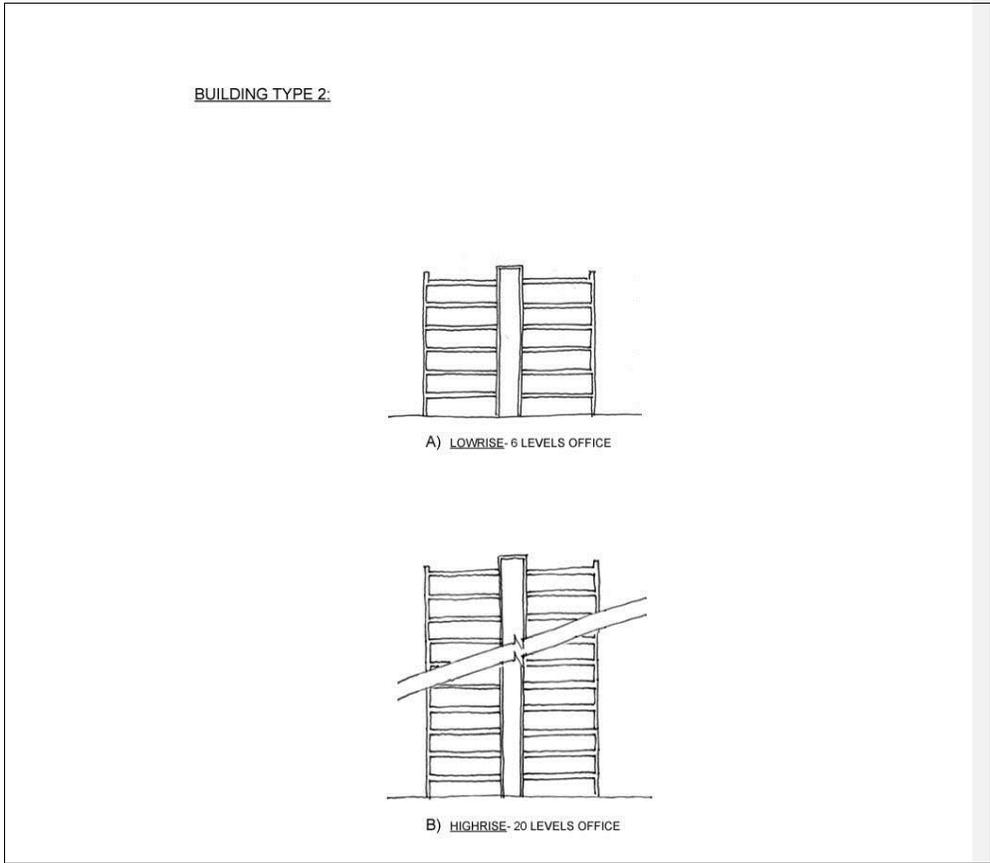


**Building Type 2:
Office**

This building type is proposed for primarily office, including a low-rise (Type 2A) and a high-rise (Type 2B) office building ranging from six to 20 stories. This building type may also include retail.

The building will likely consist of multiple entrances at the sidewalk level, but may be accessed from upper stories via a parking structure.

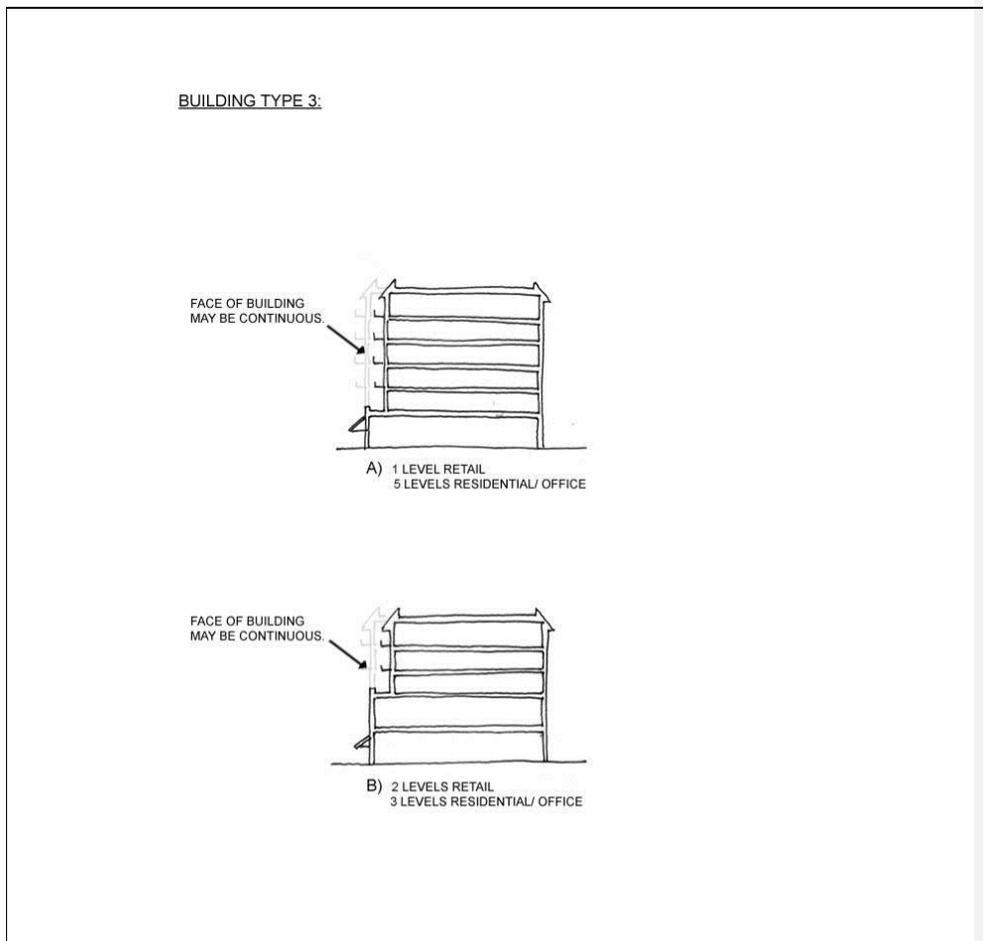
The office buildings will be designed to be compatible with the Village. Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.



**Building Type 3:
Mixed-Use**

This building type consist of two potential variations including a building with ground floor retail and up to five stories of residential and/or office above (Type 3A), and a building with two lower floors of retail and up to three upper floors of residential (Type 3B). As shown in the graphic below, the two buildings are the maximum build-out of the two variations and have approximately the same average height due to the floor heights of the two-story retail component.

Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.

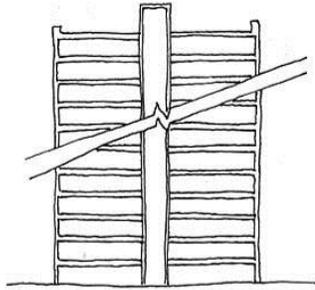


**Building Type 4:
Hotel**

Building Type 4 is a facility offering lodging accommodations to the general public and may provide or connect to additional services such as restaurants, meeting rooms, entertainment, and recreational facilities. The structure may be a high-rise building up to 30 stories.

Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.

BUILDING TYPE 4:

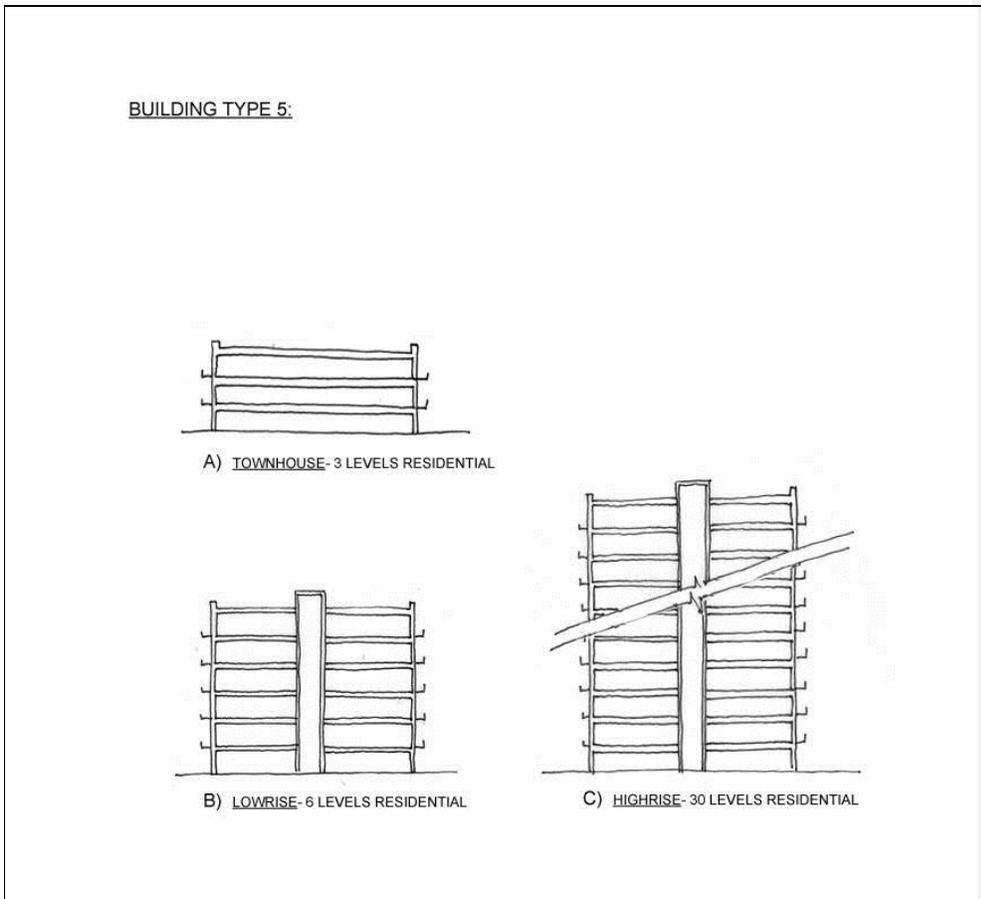


A) HIGHRISE- 30 LEVEL HOTEL

**Building Type 5:
Residential**

Building Type 5 consists of three proposed residential types. The townhouse type (Type 5A) is a two-to three-story residential unit with front entrances adjacent to the sidewalk in a traditional urban setting. The low-rise residential type (Type 5B) is proposed as a residential building up to six stories with a main entrance for the building. The high-rise residential building type (Type 5C) is a 30 story building with the possibility of ancillary retail.

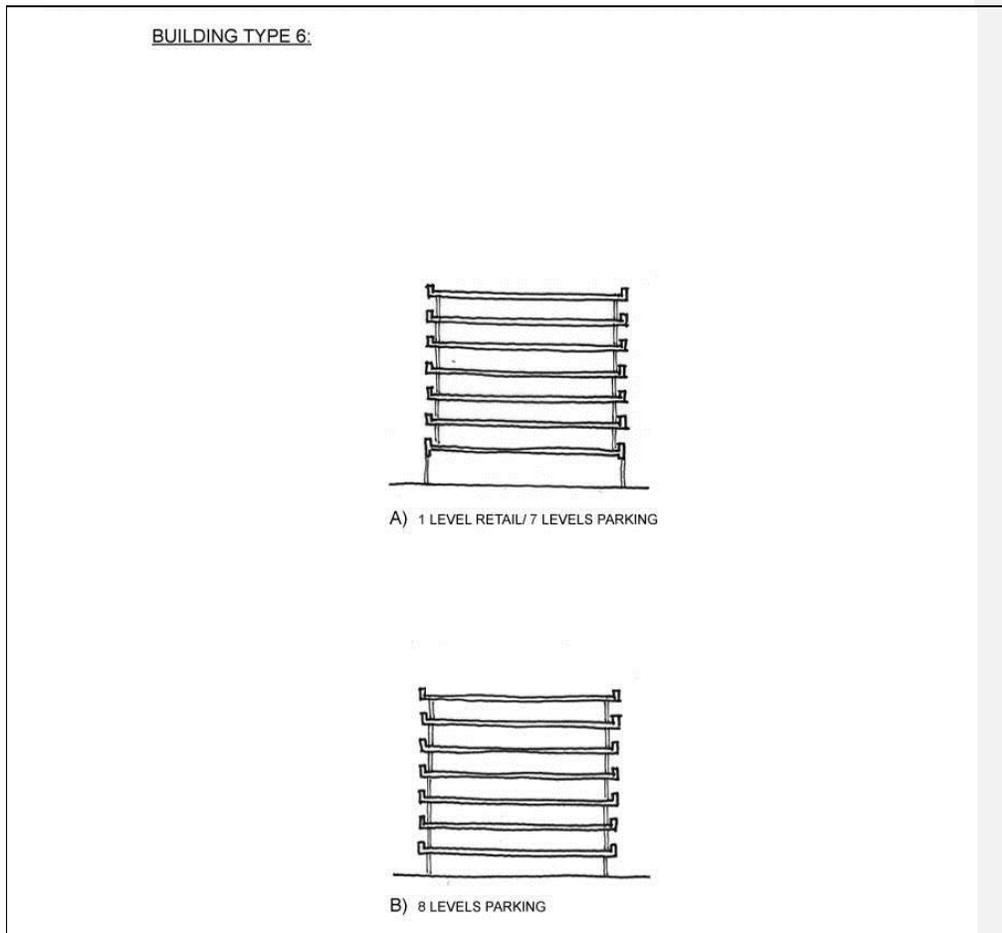
Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.



**Building Type 6:
Parking Structures**

Building Type 6 is primarily parking consisting of either an independent parking structure or a structure that includes ground floor retail. The parking structures will be designed to be compatible with the buildings within the Village.

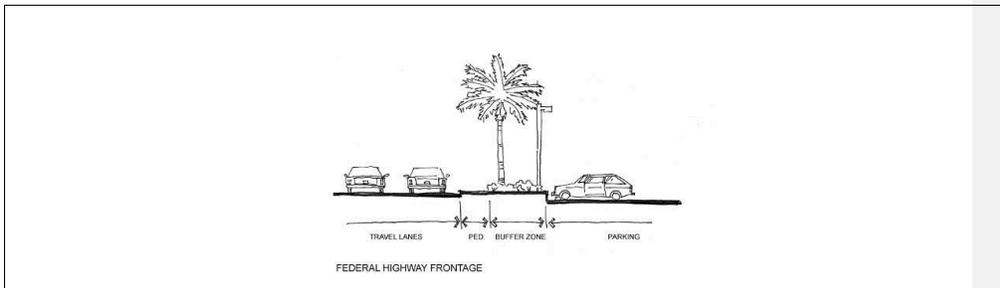
Architecture, signs, and landscaping will be consistent with the general design principles previously discussed.



**Building Types –
Adjacent to Federal
Highway (US 1)**

Federal Highway is the western frontage for the Village at Gulfstream Park.

In order to adequately address the importance of Federal Highway, the proposed retail facing Federal Highway and its related parking areas will be provided adjacent to Federal Highway along with a minimum eight-foot wide buffer zone comprised primarily of landscaping. As part of the landscaping plan for the area between Federal Highway and the parking areas, royal palms will be used as required in the City of Hallandale Beach Design Guidelines Manual Section 4.3. Architecture, signs, and landscaping will be consistent with the general design principles previously discussed. The overall development plan may incorporate freestanding buildings adjacent to Federal Highway. The proximity of these buildings will be consistent with the following typical section illustrated below.



V. Streets

General

Street Types

The planned streets and sidewalks for the Village at Gulfstream Park will generally connect to the existing City of Hallandale Beach street and sidewalk network. The Village's urban environment will be enhanced by the typical cross sections provided in the following sections.

The street types within the Village at Gulfstream Park consist of the following:

- Central and Entry Boulevard
- Avenue
- Street
- Accessway

Each street is part of a greater street hierarchy developed to organize land uses and activities, and balance vehicle mobility and access with pedestrian comfort and safety. The street types are also designed for the most appropriate context within the site. Design principles for these street types are provided in the following section.

Sidewalks

Sidewalks are the main pedestrian facilities and will be designed to create a comfortable, outdoor public space to accommodate a range of active and passive pedestrian activities. Sidewalks will be simply designed to achieve these requirements. Dimensional requirements vary for each area of the project and are more clearly described within each typical cross section. Sidewalks and pedestrian corridors provided throughout the Village will maintain a clear width as required by the Americans with Disabilities Act (ADA).

Landscape bulb-outs are encouraged as a tool for enhancing the pedestrian experience by extending the sidewalk and creating shorter crossing distances at intersections. Pedestrian crossings will be highlighted by changes in materials and finish treatment, including, but not limited to, stamped or colored concrete. In

addition, appropriate pedestrian treatments, such as handicap ramps and tactile sensors, will be provided at all intersections and pedestrian crossings to accommodate the mobility needs of all patrons.

On-street Parking

On-street parking provides additional parking opportunities and creates a more urban street type with substantial pedestrian buffers. All on-street parking spaces will be a minimum of eight feet wide by 20 feet long, unless otherwise noted.

Landscape

Landscaping will be planned in conjunction with the sidewalk design. In general, trees will provide shade and aesthetic enhancements without conflicting with vehicle or pedestrian movement, awnings or commercial signs. Landscaping will conform to criteria within the City of Hallandale Beach Design Guidelines Manual Section 4.3, along with the requirements of Article IX, Landscape Regulations.

Lighting

Lighting will be used to create attractive nighttime vehicular and pedestrian environments. A minimum light level of one foot candle will be maintained in the parking and travel lanes. Light levels for pedestrian areas will not be less than 0.8 foot candles in any location. Lighting will conform to criteria within the City of Hallandale Beach Design Guidelines Manual Section 4.6. The fixture type and illumination technology used throughout the Village at Gulfstream Park will be appropriate to the context of the lighting application (i.e., plaza area, street, parking area).

Street Furniture

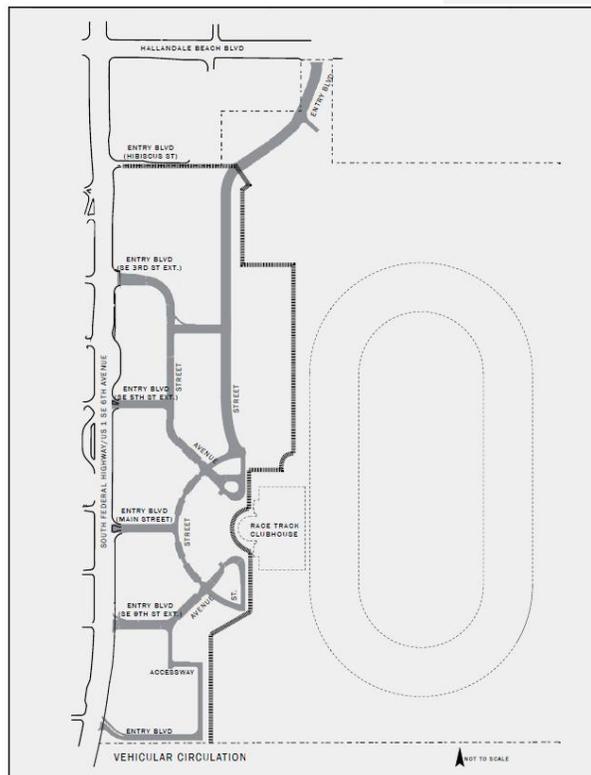
Street furniture will be part of the urban streetscape to encourage pedestrian activity and provide such amenities as trash receptacles, benches, bollards, pedestrian lighting, bicycle racks, street signs, tables, and chairs. All street furnishings will comply with the City of Hallandale Beach Design Guidelines Manual Section 4.11.

Street Types

| Street Type | Cross Section | Sidewalk | Travel Lanes | | Parking | Medians |
|---------------------|---------------|----------|--------------|---------|---------|---------|
| | | | Number | Width | | |
| 1. Boulevard | | | | | | |
| a. Central Entry | 70 feet | 6 feet | 4 | 11 feet | N/A | 10 feet |
| b. Entry | 70 feet | 6 feet | 4 | 11 feet | N/A | 6 feet |
| 2. Avenue | 60 feet | 5 feet | 2 | 11 feet | 8 feet | 6 feet |
| 3. Street | 40 feet | 5 feet | 2 | 11 feet | 8 feet | N/A |
| 4. Accessway | 30 feet | 5 feet | 2 | 10 feet | N/A | N/A |

Please note the following regarding the above table:

- The dimensions provided represent minimums. Deviations from the minimum dimensions may be approved by the City of Hallandale Beach during the Major Review Plan process.
- The lane widths refer to single travel lane widths. Travel lanes do not include turn lanes.
- "Cross section" refers to the full width of the street cross section from the back of the sidewalk to the other back of the sidewalk, but does not include any areas under arcades or colonnades.
- Parking refers to on-street, parallel parking adjacent to the travel lanes.
- The minimum sidewalk dimension refers to the width of the sidewalk. The clear width of the sidewalks providing unobstructed pedestrian movement will depend on the anticipated pedestrian volumes, but will meet the minimum requirements of the American with Disabilities Act (ADA).



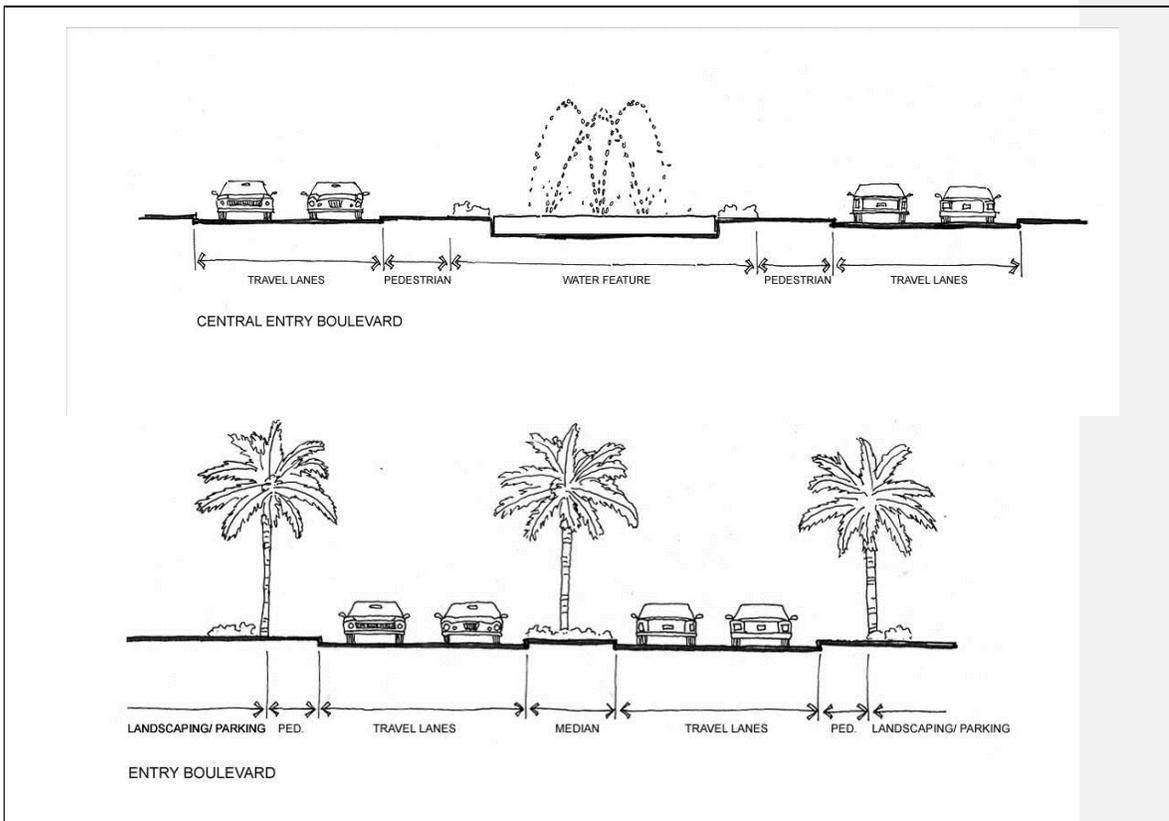
Typical cross sections of the four street types are provided in the following pages, along with general descriptions.

Street Type 1:

- a. Central Entry Boulevard**
- b. Entry Boulevard**

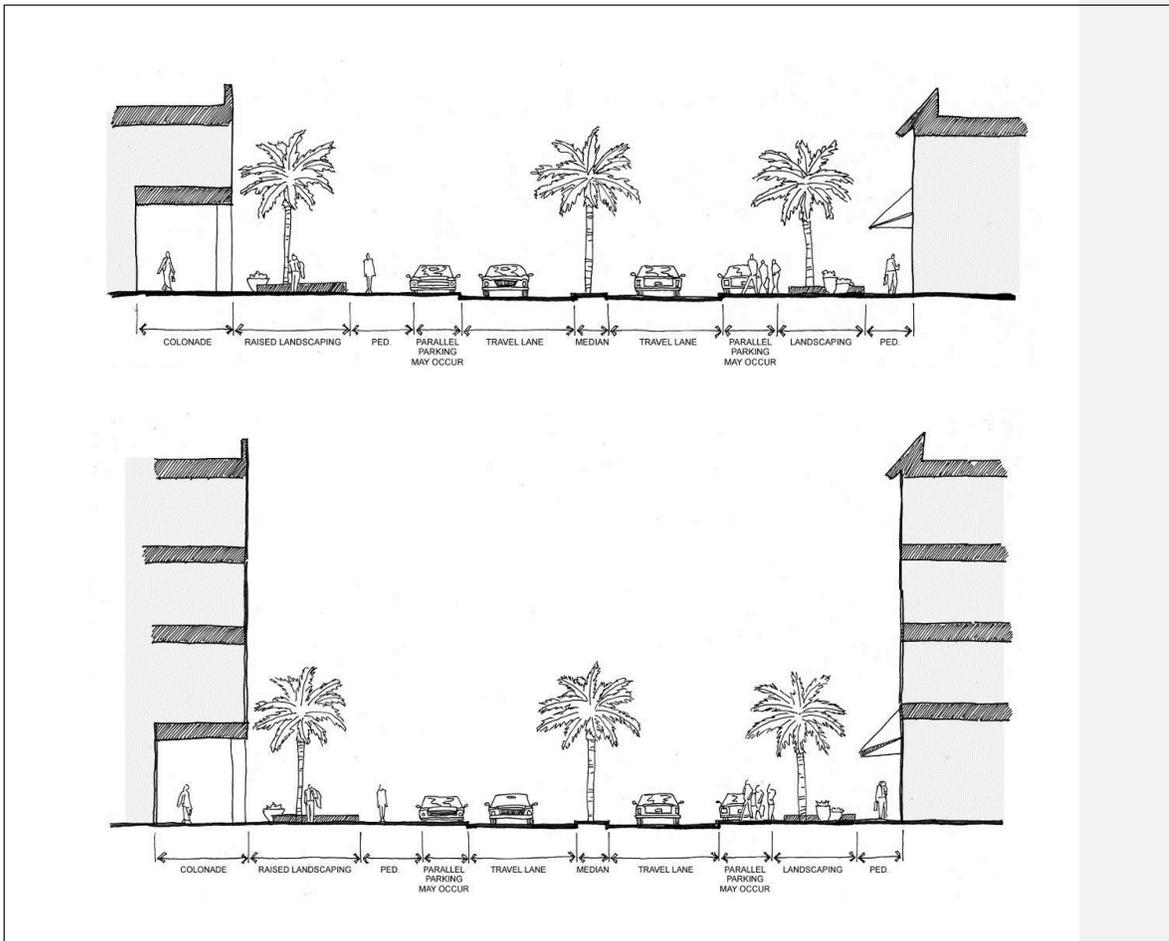
The central entry boulevard is the formal entrance from Federal Highway (US 1). The visual termination of the boulevard to the east is the Gulfstream Park Clubhouse. The central entry boulevard may be accented by a water feature or landscaping within the median. A pedestrian connection on both sides of the boulevard between Federal Highway and the Village Green leading to the Clubhouse is also provided.

Other entry boulevards are proposed to provide access to the site that may include landscaped medians. Similar to the central entry boulevard, these boulevards will have four travel lanes, two in each direction, and sidewalks connecting to the City's sidewalk network.



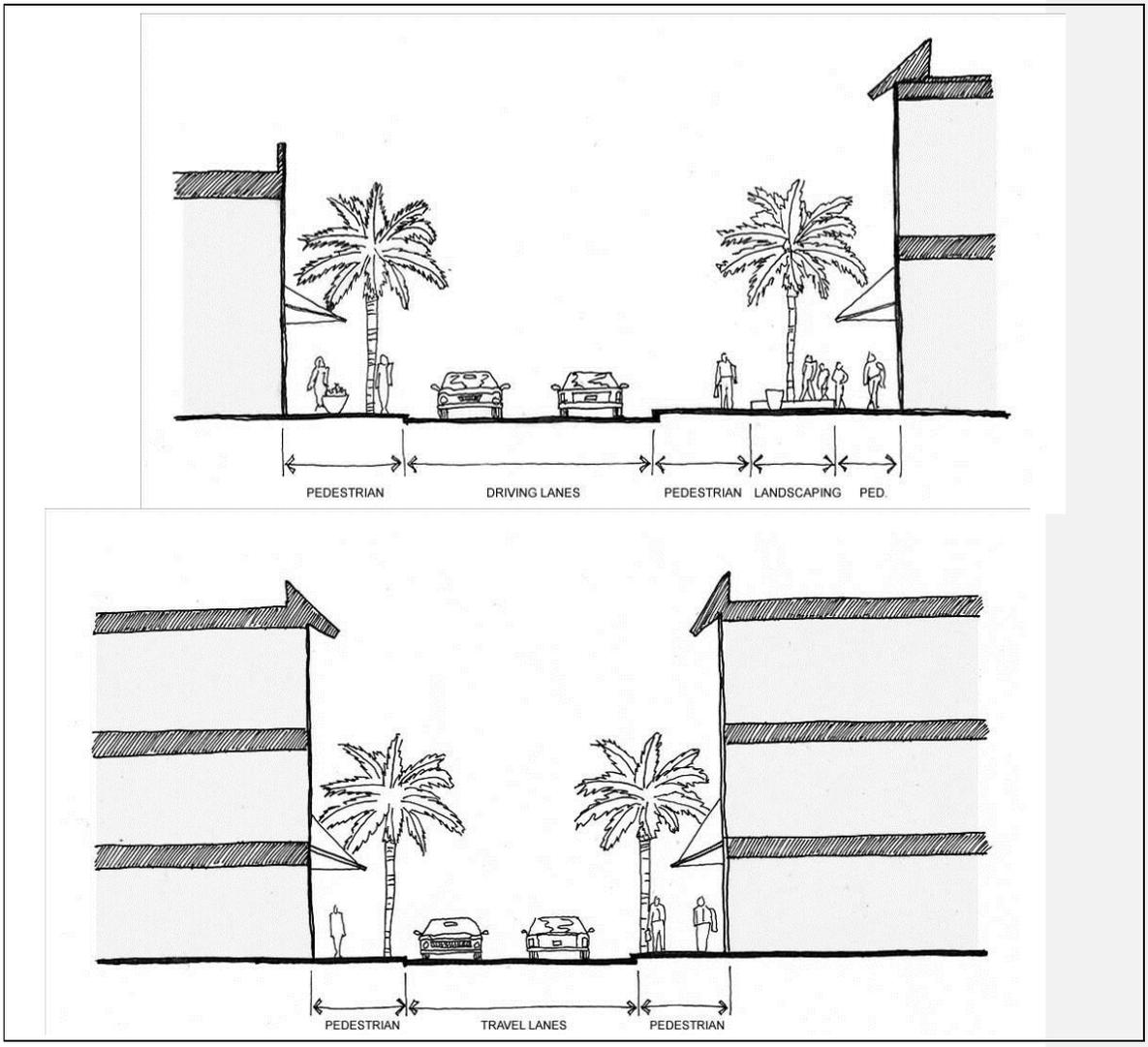
**Street Type 2:
Avenue**

Similar to the boulevards in Street Type 1, the avenue has a median, but may also incorporate on-street parking in certain sections. In general, avenues are adjacent to retail, office, and mixed-use buildings that will generate a higher pedestrian volume. To support the higher volumes of pedestrians, the avenue provides a shorter pedestrian crossing distance and sidewalk buffering with on-street parking.



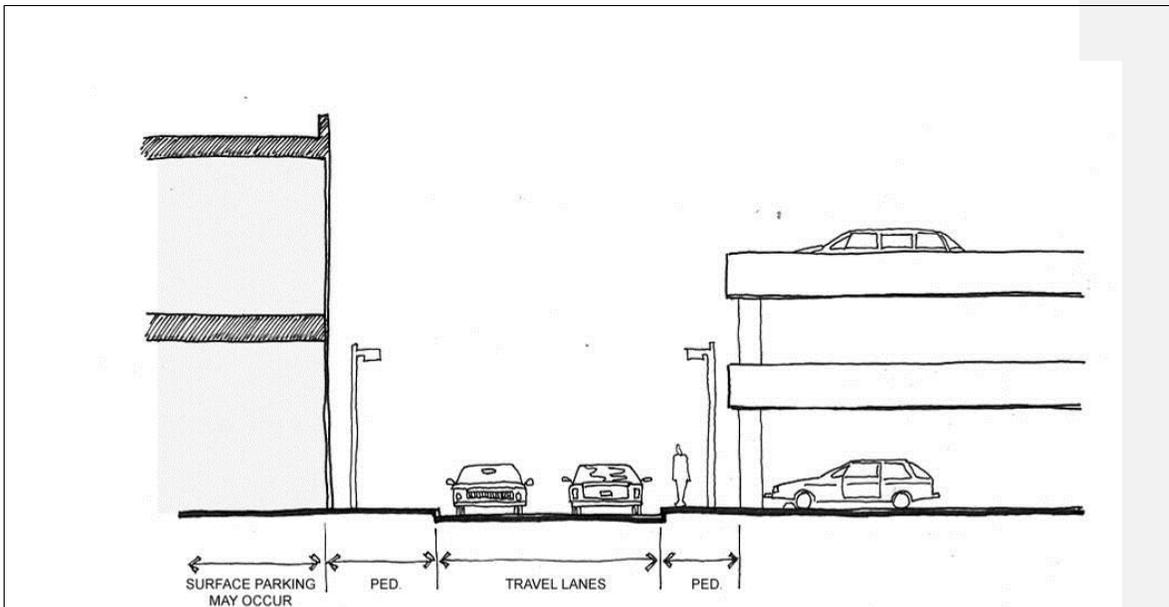
**Street Type 3:
Street**

Streets are similar to the avenue except that no median is provided and on-street parking is not present. The cross section still provides a short pedestrian crossing distance while maintaining an adequate sidewalk width for the higher level of pedestrian activity. The street is typically adjacent to buildings that contribute to the higher pedestrian volumes.



**Street Type 4:
Accessway**

An accessway is typically more single-purpose than the other street types, providing access to parking areas, parking structures, loading areas, and service bays. However, the accessway does provide additional circulation opportunities to the entire street network within the Village at Gulfstream Park. Sidewalk dimensions are typically smaller as the volume of pedestrians is less. In addition, landscaping is generally minimal along these corridors to minimize the width of the cross section and allowing for wider pedestrian and landscape areas along other street types.



VI. Public Art

The following provides the general design principles for each public art type anticipated for the Village at Gulfstream Park. While not all public art types can be envisioned at this time, the intent of the following information is to provide a representative list of potential public art installations. Public Art types listed below are not intended to restrict the form and type of interpretive expression, including but not limited to sculpture, murals or paintings, combinations of media including sound, film, holographic or video systems, hybrid forms of expression, lighting, earthworks, mosaics, and temporary installations.

In all cases, public art is artwork displayed in publicly accessible spaces and buildings. Art can take on many forms and is typically created by a professional artist. Public Art displayed at the Village of Gulfstream Park must be appropriate for the particular location. Permanent installation themes and concepts may reflect elements of the Mediterranean Revival style and/or uses and activities on site.

Public art may require additional approvals from the City of Hallandale Beach.
Public Art Type:

Grand Scale: Monuments, statuary, sculpture, fountains, or other elements intended to be viewed from within the Village as well as viewed from off-site.

Art Height:

Maximum of 125 feet

Setback from Property lines:

Minimum: equal to the height of the art installation or required buffering, whichever distance is greater.

Pedestrian Scale Elements: Artist-created site furnishings, smaller sculpture, monuments,

Art Height:

Maximum of 25 feet

Setback from Property lines:

Minimum: equal to the half of the height of the art installation or required buffering, whichever distance is greater.

Architectural Elements: Façade treatments, Murals, or other artist-created elements applied to or attached to the exterior of a building.

Art Height:

Not to exceed building height by more than 20'

Setback from Property lines:

Minimum: equal to the required building setback

Environmental/Ecological Art: These artworks may incorporate elements that artistically demonstrate sustainable practices such as water conservation, energy efficiencies, energy production, adaptive re-use, or recycling.

Art Height:

Maximum of 50 feet

Setback from Property lines:

Minimum: equal to the height of the art installation or required buffering, whichever distance is greater.

Rotating /Seasonal Art Installations: These artworks are intended for a limited display or are temporary in nature, seeking to enliven the urban landscape with dynamic visual experiences for visitors, create more venues for artwork display within the Village, educating the public and providing a cultural draw for tourists.

Art Height:

Maximum of 50 feet

Setback from Property lines:

Minimum: equal to the height of the art installation or required buffering, whichever distance is greater.